



SAMUEL WOOD



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6 Redlake Meadow, Bucknell, Shropshire, SY7 0AY
Offers In The Region Of £225,000



6 Redlake Meadow

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- 3 Bedroom Semi-Detached Property
- Requires Modernisation & Improvement
- Popular Village Location
- Gardens Front and Rear
- Near Local Amenities
- EPC Rated F

Welcome to 6 Redlake Meadow, a charming residence located in the heart of Bucknell. This endearing property offers a blend of contemporary living with the tranquility of rural surroundings. With three good sized bedrooms, ample living space, and picturesque views, it presents an ideal opportunity for those seeking comfort and convenience.

Situated in the popular village of Bucknell, Redlake Meadow offers a peaceful lifestyle surrounded by natural beauty. Residents can enjoy scenic walks, explore nearby attractions, and benefit from easy access to local amenities including garage with forecourt shop, primary school, local butcher, Post Office, public house and good transport links.

Having good sized accommodation, in need of some updating, spread over two floors offering flexibility and comfort for residents. This property boasts generous living spaces comprising of three bedrooms, one bathroom, and one reception room. The fitted kitchen offers planned space for modern appliances, ample storage, and heat-resistant countertops. The open-plan arrangement to the lounge/diner maintains a flexible space for entertaining or spending time with family.

The inviting living area features a large window to the front that brings in natural light, the sliding patio doors to the rear provide further natural light and access to the enclosed rear garden. Stairs ascend from the hallway to the first floor, three good sized bedrooms offer plenty of space for guests or family members. The house bathroom has a suite comprising of pedestal wash hand basin, panelled bath with glass shower screen, shower over and tiled splash areas.

Enjoy outdoor living and entertaining in the enclosed rear garden, offering privacy and tranquility. The generously sized front garden is enclosed by low picket style fencing, in the main is laid to lawn with pathway leading to the front door. The front path is edged by herbaceous beds with a hydrangea to the centre of the lawn.







Directions

From the Samuel Wood branch in Craven Arms, head out of the town on the Clun Road (B4368) and join the B4367 at Long Meadow End towards Bucknell. Stay on the B4367 passing through Broome, Clungunford, Hopton Heath and Bedstone before reaching the village of Bucknell. As you enter the village, take a sharp left turn before a stone wall bridge and garage on the right, after approximately 100m, Redlake Meadow will be the second turning on the left.

Services: We understand that the property benefits from mains electricity, mains water, mains drainage, oil-fired warm air to radiator with a back boiler system. Windows are uPVC double glazed.

Broadband Speed: Basic 19 Mbps, Superfast 80 Mbps, Ultrafast 900 Mbps

Flood Risk: Very Low

Tenure: We understand the tenure is Freehold.

Local Authority:
Shropshire Council,
The Shirehall,
Abbey Foregate,
Shrewsbury,
Shropshire
SY2 6ND.
Tel. 0345 678 9000

Council Tax Band: C

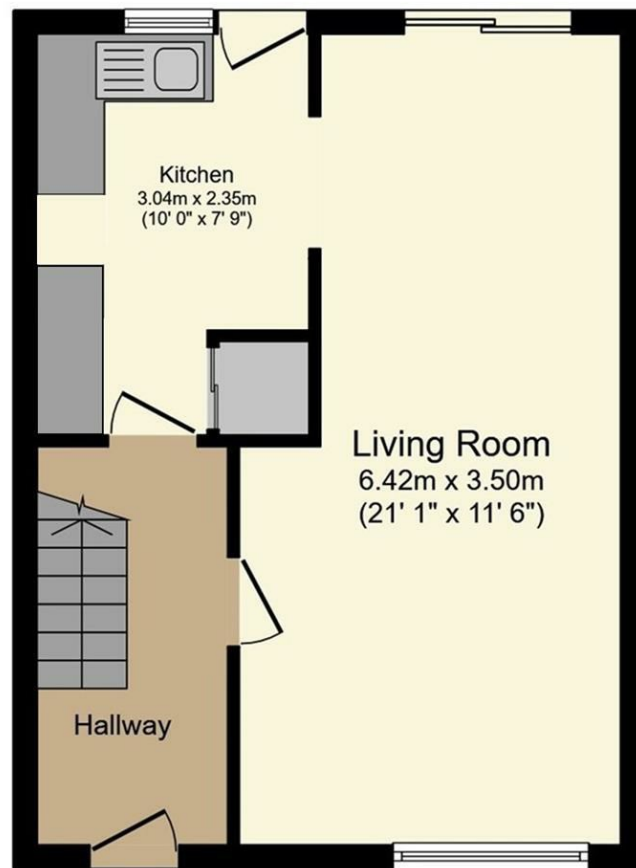
Mortgage Services: We offer a no obligation mortgage service through Hilltop Mortgage Solutions, please ask a member of our team for further details.

Referral Services: Samuel Wood routinely refers vendors and purchasers to providers of conveyancing and financial services. We may receive fees from them as declared in our Referral Fees Disclosure Form.

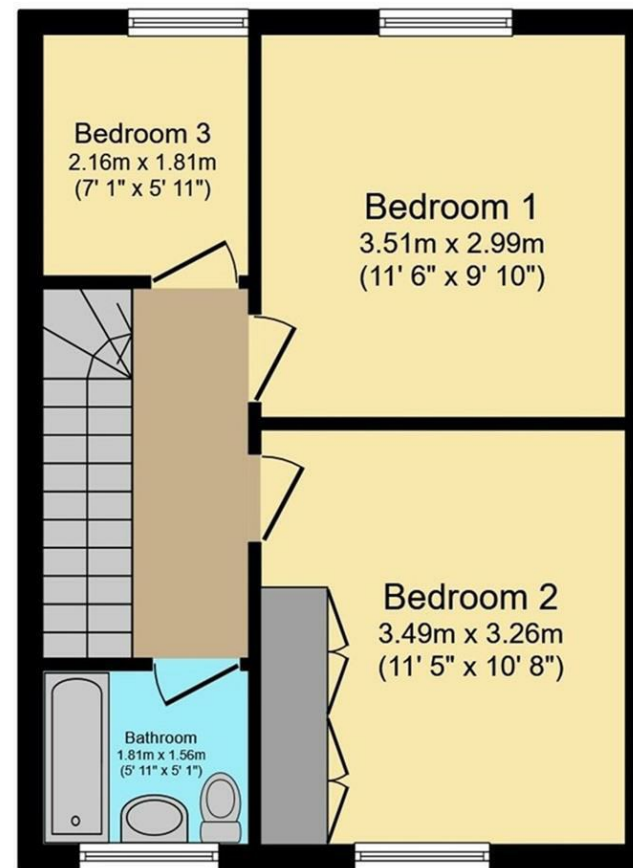
To appreciate the full potential of 6 Redlake Meadow, we highly recommend arranging a viewing. Call: 01588 672728, or Email: cravenarms@samuelwood.co.uk







Ground Floor



First Floor

We take every care in preparing our sales details. They are checked and usually verified by the Vendor. We do not guarantee appliances, alarms, electrical fittings, plumbing, showers etc. You must satisfy yourself that they operate correctly. Room sizes are approximate; they are usually taken in metric and converted to imperial. Do not use them to buy carpets or furniture. We cannot verify the tenure, as we do not have access to the legal title; we cannot guarantee boundaries or rights of way so you must take the advice of your legal representative. No person in the employment of or representing Samuel Wood has any authority to make any representation or warranty whatever in relation to this property. If there is any point which is of particular importance to you, please contact the office and we will be pleased to check the information. Do so particularly if contemplating travelling some distance to view. Applicants are advised that the majority of our shots are taken with a wide angle lens.

CONTEMPORARY AGENCY • TRADITIONAL VALUES

10 Corvedale Road, Craven Arms, Shropshire, SY7 9ND

Tel: 01588 672728 | cravenarms@samuelwood.co.uk